

299 Broadway: Buildings

Somerville Zoning Board Hearing #2 - 01.04.2023
Case Number P&Z 22-092

Applicants: Mark Development LLC and Beacon Communities Services LLC and Rise Together LLC
Owners: Comar Real Estate Trust and Second Comar Real Estate Trust

Agenda

1. Building Design
2. Sustainability
3. Parking & Mobility
4. Project Affordability

Table of Contents

1. Existing Conditions & Site Plan Overview
2. Ground Floor Planning and Retail Strategy
3. Overall Massing Strategy
4. Building A: Approach to Massing and Materiality
5. Building B: Approach to Massing and Materiality
6. Zoning Waivers Overview

Appendix

1. Development Summary
2. Zoning Summary
3. SZO Waiver Requests
4. Shadow Study

Site Context

Existing Site Conditions: *View of Broadway looking East*



Site Context

Existing Site Conditions: *View of Broadway looking West*

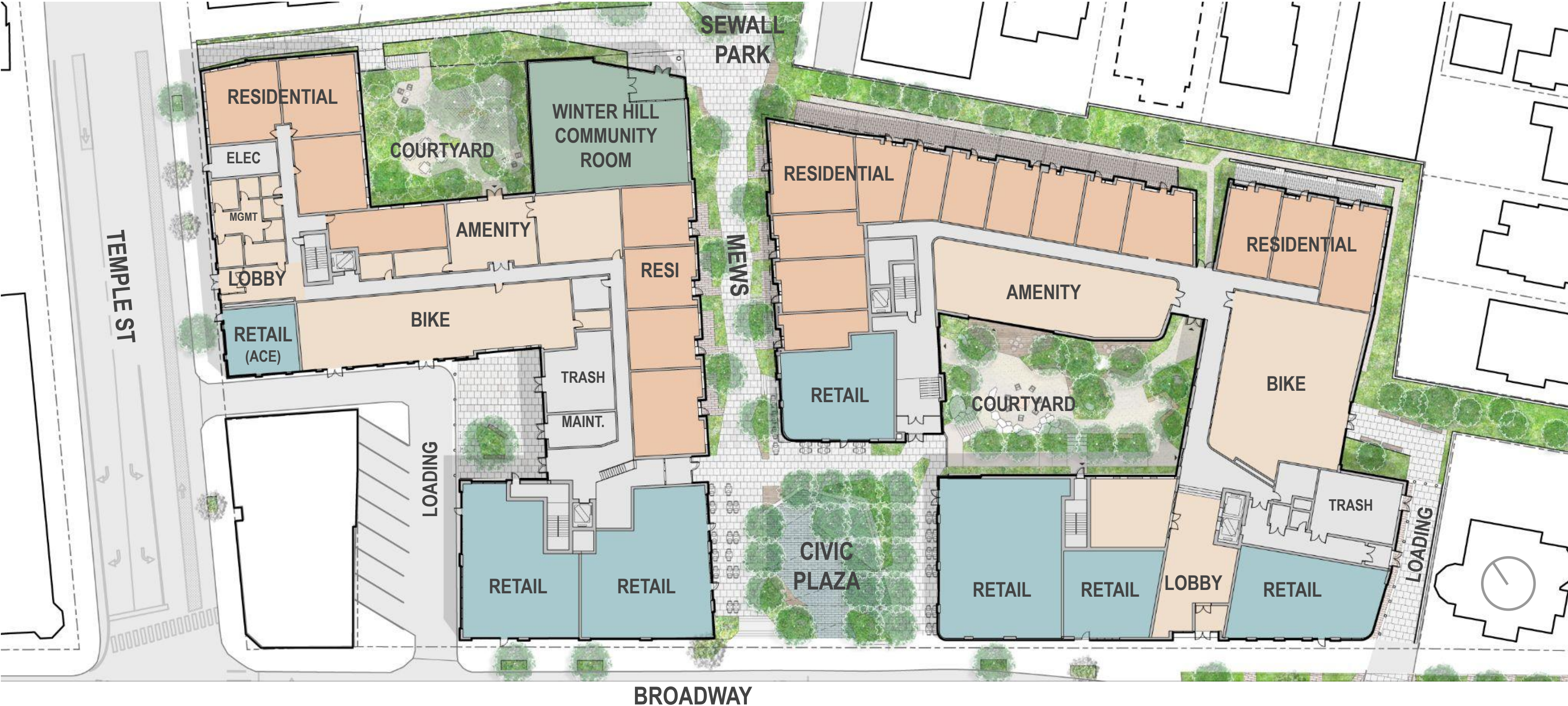


Broadway - looking Northwest

Site Plan



Ground Floor Plan



Retail Inspiration



Retail Thinking

- Graffito Approach: prioritize best-in-class local retailers and restaurateurs
- Lower barriers of entry for local operators, new concepts, BIPOC-owned “graduates” from Bow Market, Nibble, Farmers Markets, etc.
- Ensure flexibility in retail footprints to accommodate range of uses and scales of operation, especially on Broadway edge, where grading is challenging
- Leverage plaza adjacency, especially for food and beverage uses
- Embrace holistic approach to landscape architecture, way-finding, signage, and public realm programming
- Provide range of food, beverage, neighborhood services and amenities
- Leverage feedback from community during permitting process to establish priority targets for eventual lease-up

Massing Approach

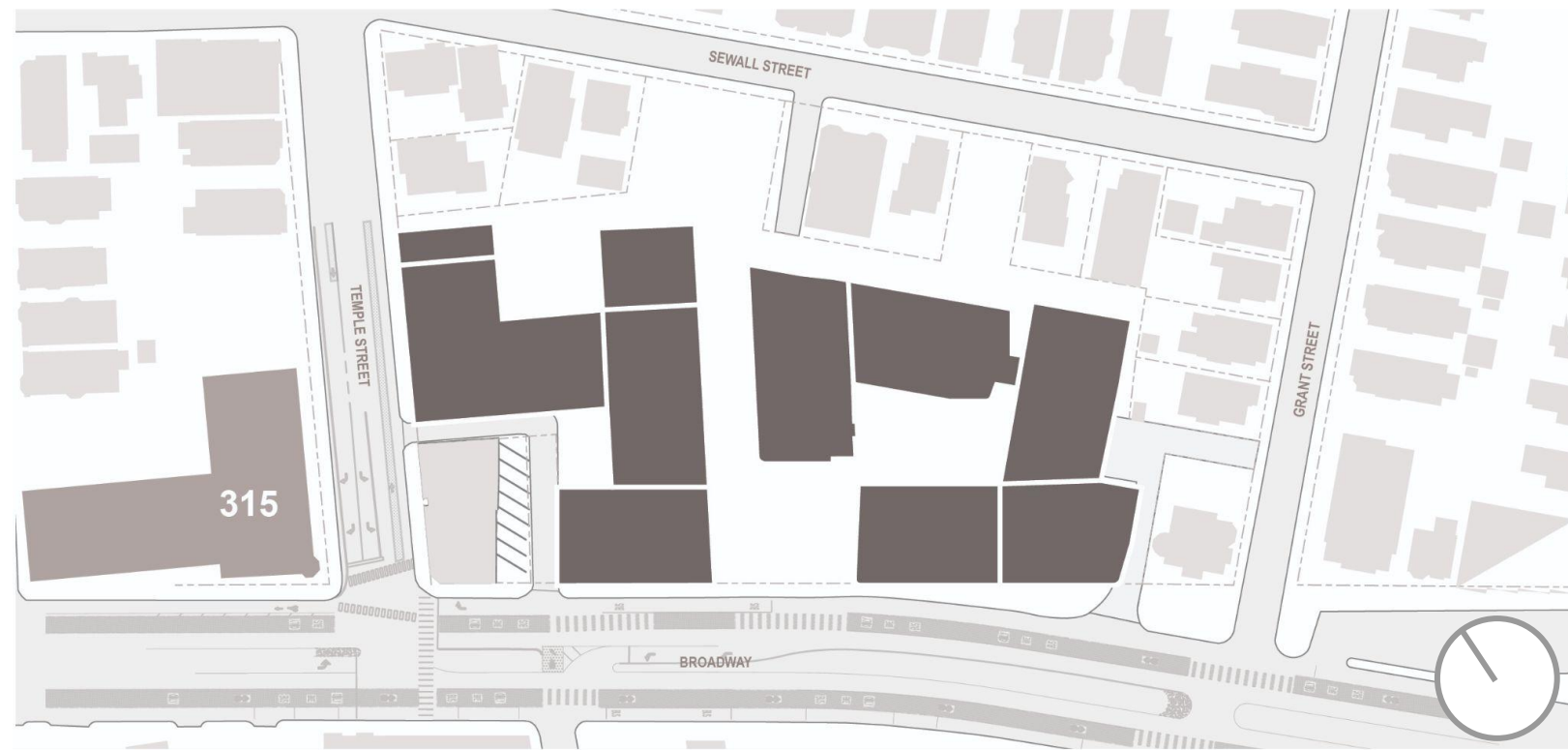
Building A

Building B



Building Scale Comparison - Broadway

299 Broadway



315 Broadway
5 stories



333 Broadway
4.5 stories



383 Broadway
5 stories



390 Broadway
7 stories



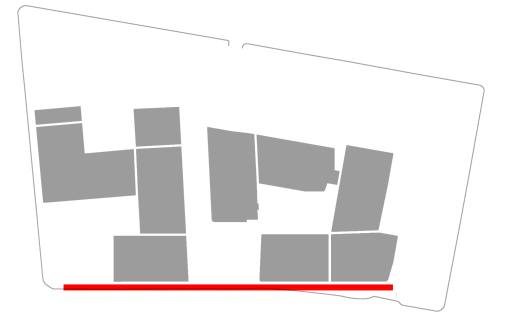
391 Broadway
5 stories



431 Broadway
4 stories



Broadway Elevation



Building A

Building B



View of Intersection of Temple & Broadway

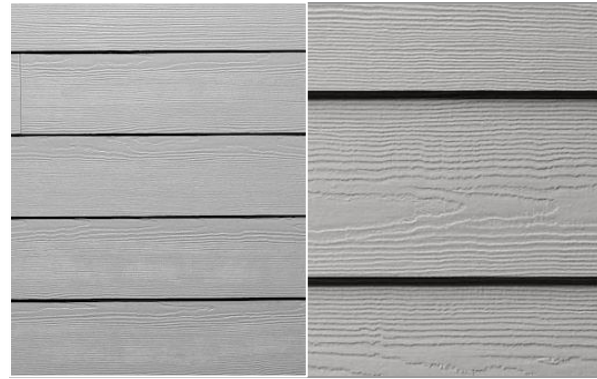
Material Palettes - Building A

Broadway:



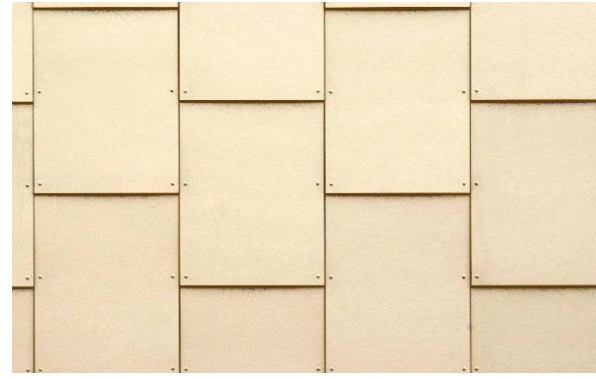
(A) Corrugated Metal - Med

Mews:



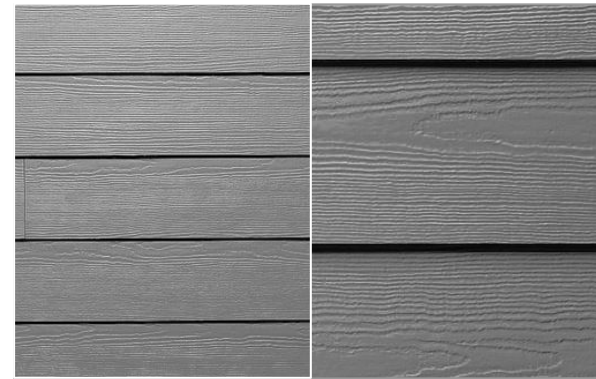
B) Cement Board Siding

Community Room:

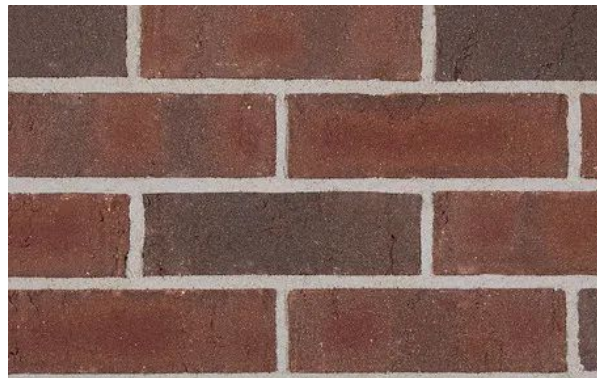


C) Fiber Cement Panels

Sewall/ Temple Corner:



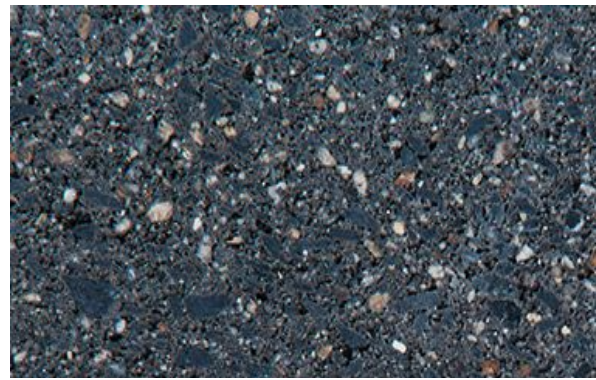
D) Cement Board Siding



E) Dark Red Brick



F) Dark Gray Brick



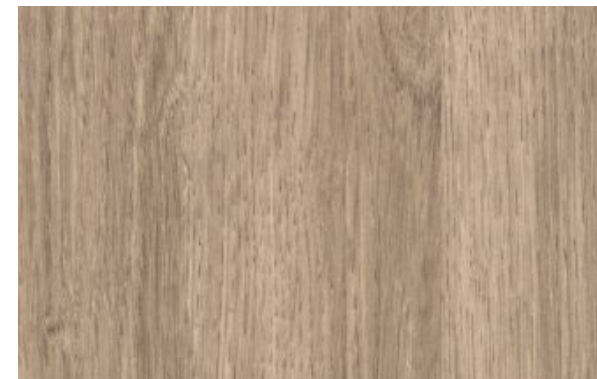
G) Ground Face Block Temple Street:



H) Fiber Cement Panels



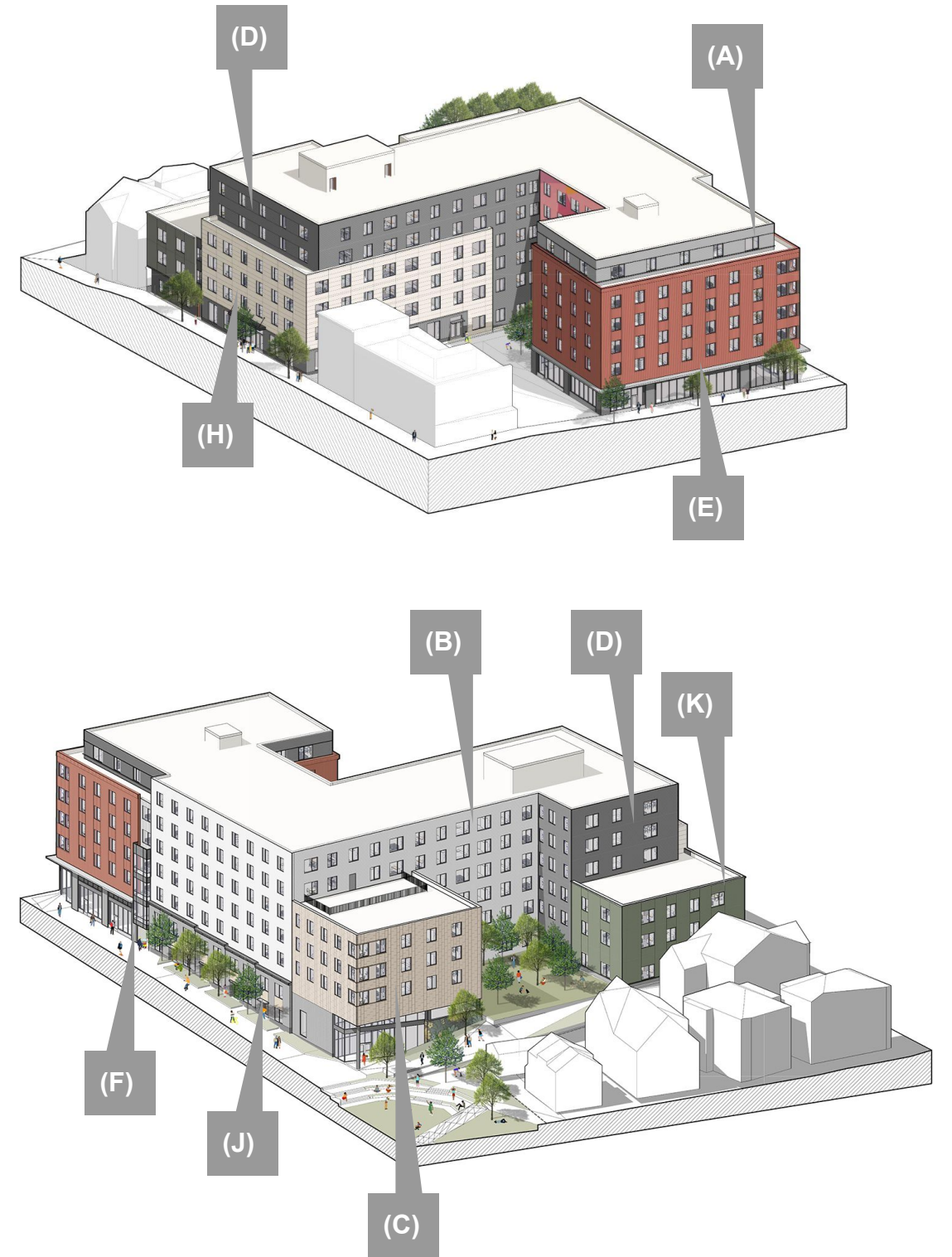
I) Metal Panel



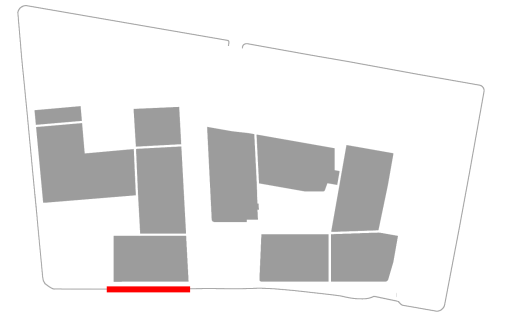
J) Wood-look Panel



K) Cement Board Shingles

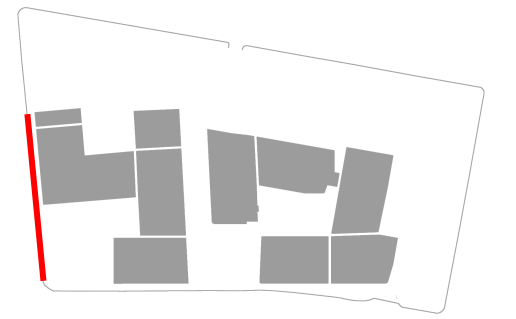


Building A - Broadway Elevation

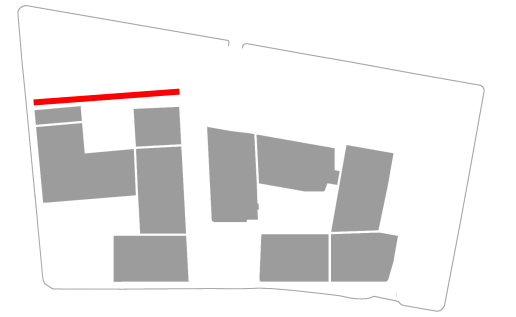


Building A - Temple Street Elevation

Elevation w/existing structures



Building A - Sewall Street Elevation

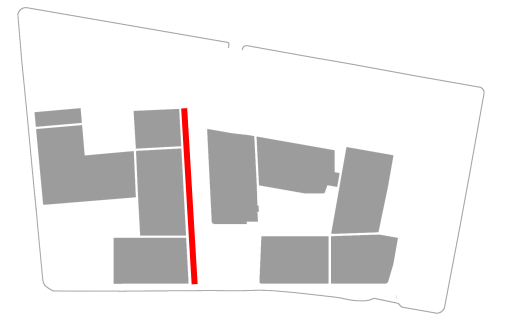


Sewall Street Park

Earlier Progress Illustrative View of Park



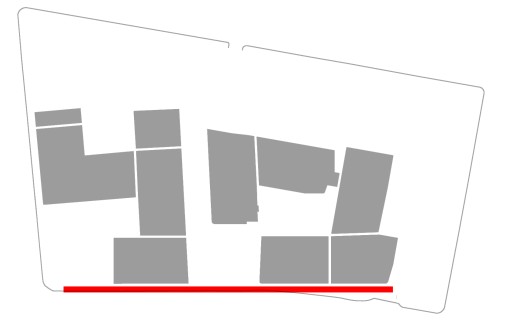
Building A - Mews North Elevation



Building A - Axonometrics



Broadway Elevation



Building A

Building B

Material Palettes - Building B

Broadway:



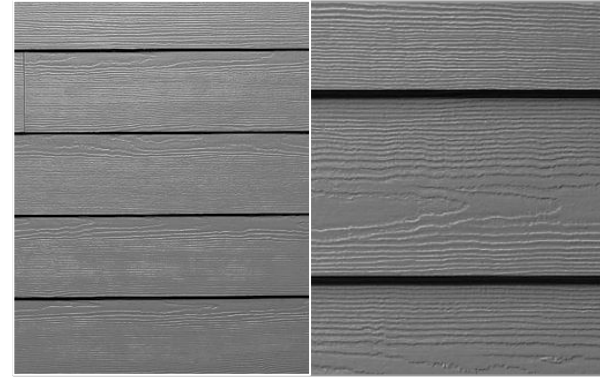
(A) Corrugated Metal - Dark

Broadway:



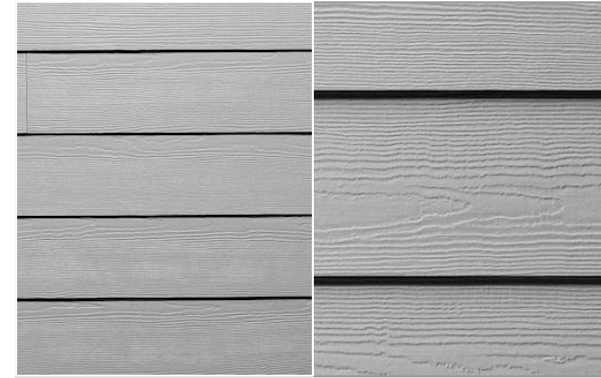
(B) Corrugated Metal - Light

Mews:

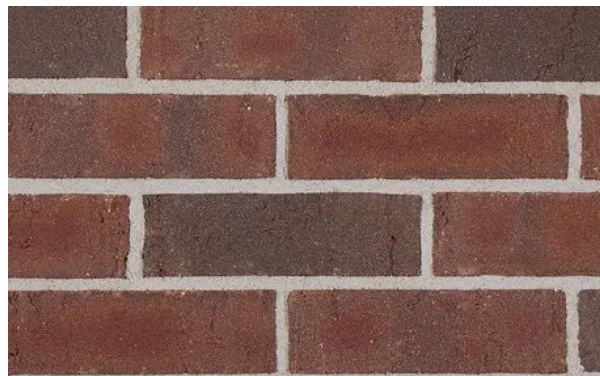


(C) Cement Board Siding

Sewall St:



(D) Cement Board Siding



(E) Dark Red Brick



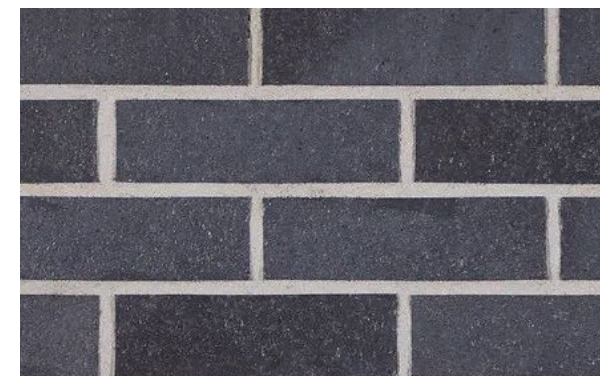
(F) Buff Brick



(G) Terracotta Planks



(H) Cement Board Siding



(K) Dark Grey Brick



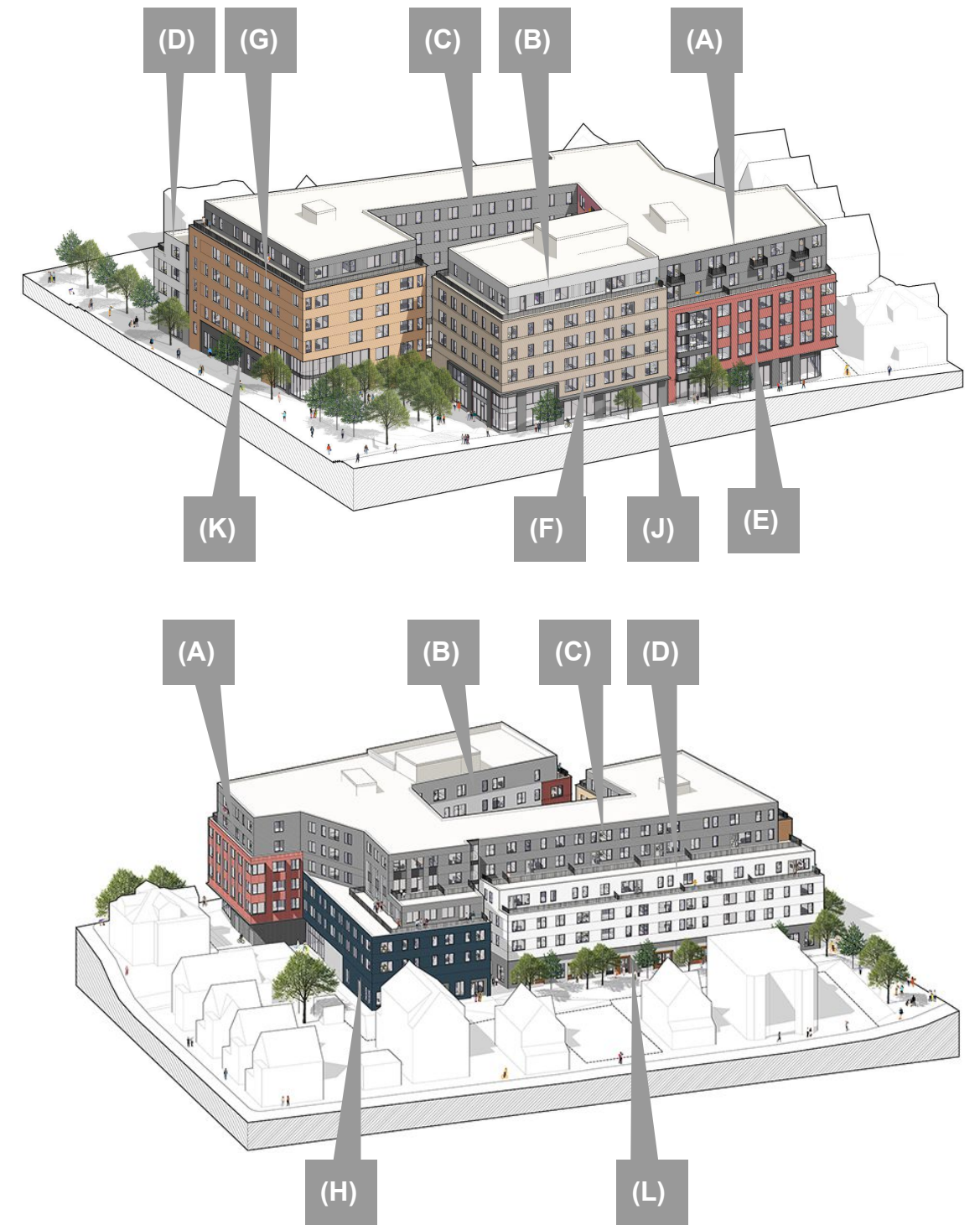
(J) Porcelain Panels



(L) Dark Grey Brick



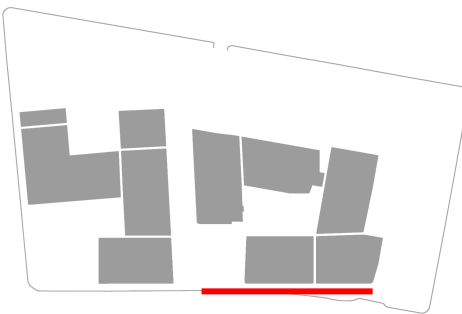
(L) Cement Board Siding





Broadway Looking North

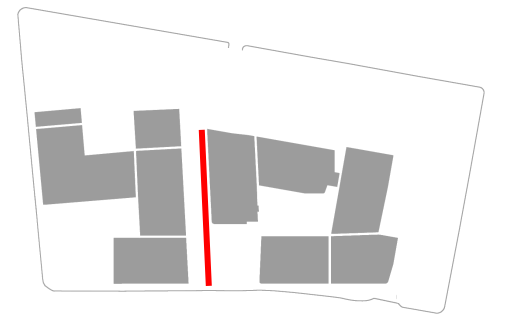
Building B - Broadway Elevation



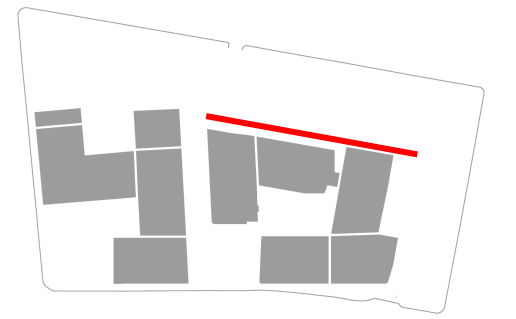


Civic Plaza

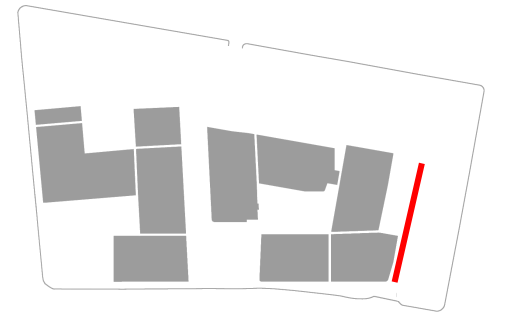
Building B - Mews South Elevation



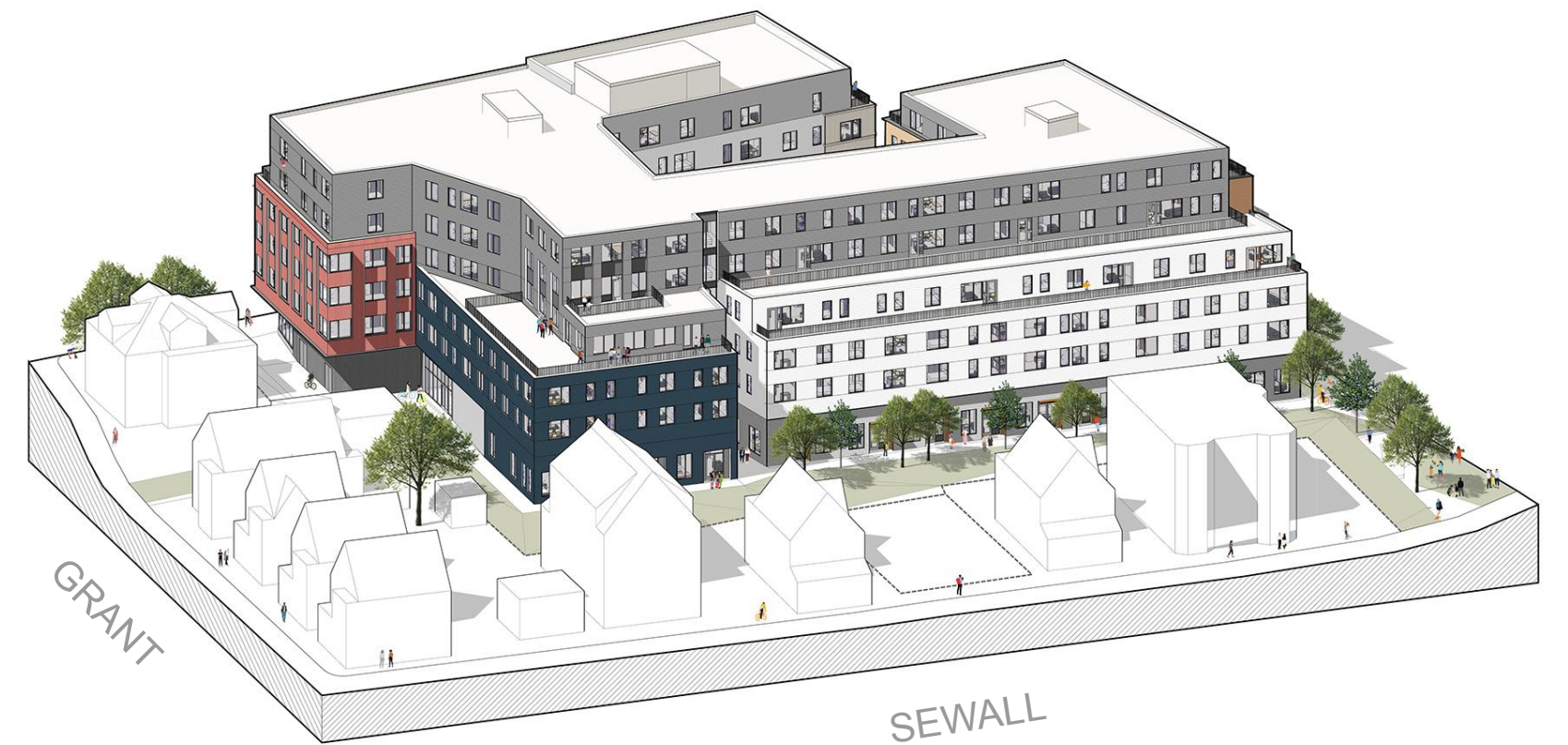
Building B - Sewall Street Elevation



Building B - Grant Street Elevation



Building B - Axonometrics



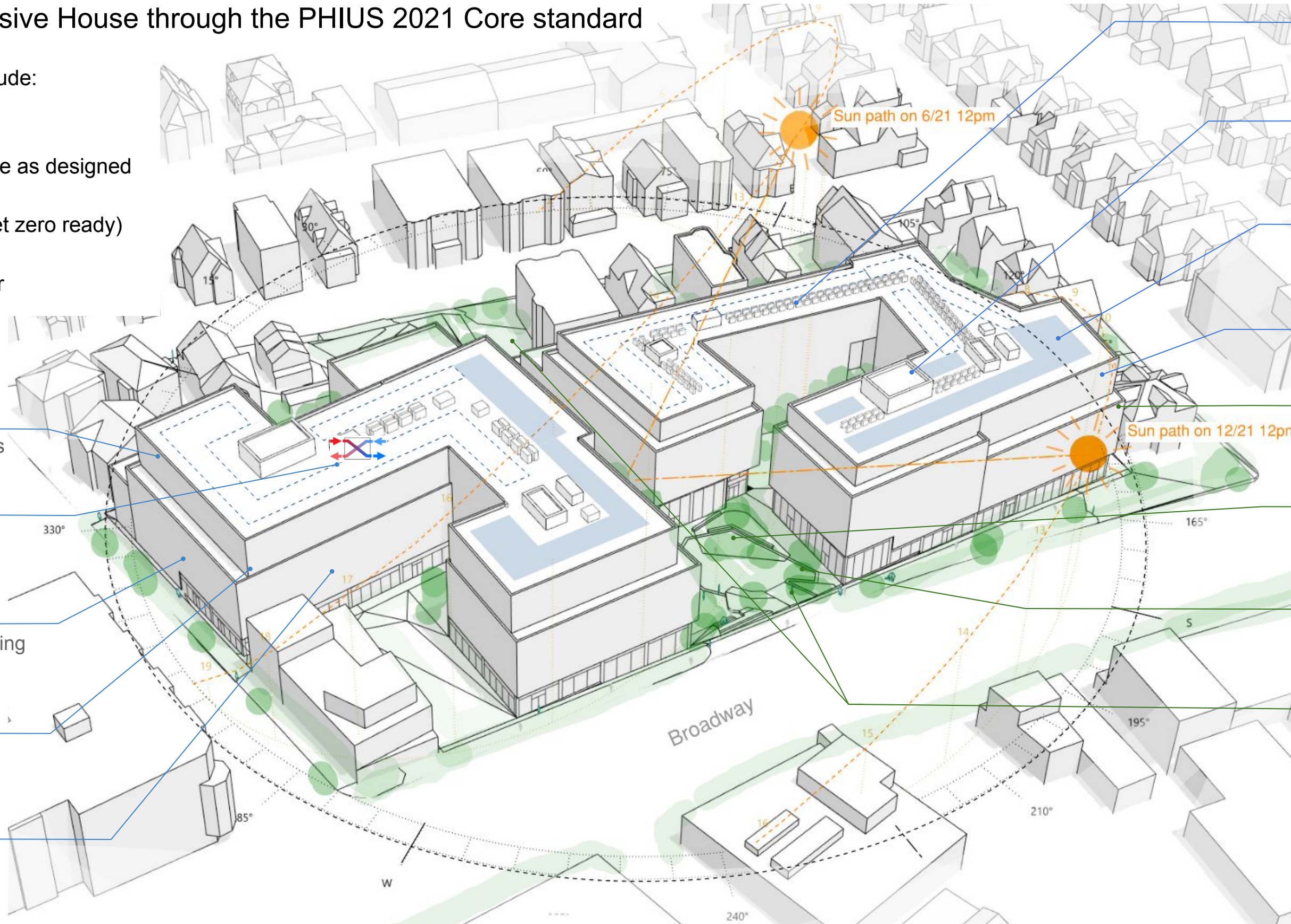
Sustainability

Sustainability Strategies

The project will target Passive House through the PHIUS 2021 Core standard

Co-benefits of Passive House include:

- Enhanced thermal comfort
- Exceptional indoor air quality
- Quality assurance: performance as designed
- Lower operational costs
- Reduced carbon emissions (net zero ready)
- Better sound isolation
- Resilience during loss of power



Airtight Envelope

Continuous air barrier at all transitions

Fresh Air with Energy Recovery

Balanced mechanical ventilation with energy recovery

High-Performance Windows

Low window-wall ratio with low-e glazing tuned for daylight and solar control

Minimized Thermal Bridging

Continuous, high quality insulation with thermally broken assemblies

Sustainable Materials

Design utilizes low-emitting, low-embodied carbon materials

Right-sized Heating + Cooling

All-electric, cold-climate heat pumps for space conditioning

Efficient DHW

Future-ready electric water heating with efficient distribution

Rooftop Solar PV

Equipment is consolidated to maximize area for rooftop solar PV

Building Moisture Control

Durable, water-managed assemblies

Bicycle Parking

Promotes health and transportation efficiency

Stormwater Mitigation

Permeable and planted surfaces manage stormwater runoff

Shaded Outdoor Space

Tree canopy reduces heat island and provides resilience to extreme heat

Native Plantings

Pollinator-friendly native plants support ecosystem services

Legend

— Site and Landscape

— Building Envelope + Systems

Waiver Overview

Waivers Overview

Specific Site Conditions that Prompted the Need for Waivers

Building A

The dramatic change of Grade along the long axis of the site

- MR4 Ground Story Height (Min/Max) - 14 FT / 25 FT (26 FT 9 IN)
- MR6 Ground Story Height (Min/Max) - 18 FT / 25 FT (13 FT 3 IN / 26 FT 9 IN)
- Ground Story Entrance Spacing (Max) - 30 FT

The need to consolidate move-in/move-out and loading to a single location, given the limited amount of street frontage

- Floor Plate (Max) - 15,000 SF MR4 / 30,000 SF MR6 (28,591 SF)

Idiosyncratic configuration and geometry of existing development parcel

- MR6 Minimum Lot Width - 30 FT (Lot 3 - 12 FT)
- Building Facade Parallel to Front Lot Line - Sewall Street Facade
- Minimum Facade Build-Out at a Primary Front Lot Line - 80% (55% at Sewall Street Facade)
- Lots must be platted to be generally rectilinear (lot geometry is not rectilinear)

The goal to provide publicly-accessible open space on Sewall Street

- Primary Front Setback (Min/Max) - 2 FT / 15 FT (Facade at Sewall Park - 88 FT)

Waivers Overview

Specific Site Conditions that Prompted the Need for Waivers

Building B

The dramatic change of Grade along the long axis of the site

- MR4 Ground Story Height (Min/Max) - 14 FT / 25 FT (16 FT 9 IN)
- MR6 Ground Story Height (Min/Max) - 18 FT / 25 FT (13 FT / 23 FT 8 IN)
- Ground Story Entrance Spacing (Max) - 30 FT

The need to consolidate move-in/move-out and loading to a single location, given the limited amount of street frontage

- Floor Plate (Max) - 15,000 SF MR4 / 30,000 SF MR6 (34,184 SF)

Idiosyncratic configuration and geometry of existing development parcel

- MR6 Minimum Lot Width - 30 FT (Lot 2 - 18 FT)
- Minimum Facade Build-Out at a Secondary Front Lot Line - 65% (27% at Sewall Street Facade)
- Lots must be platted to be generally rectilinear (lot geometry is not rectilinear)

The goal to provide publicly-accessible open space on Broadway

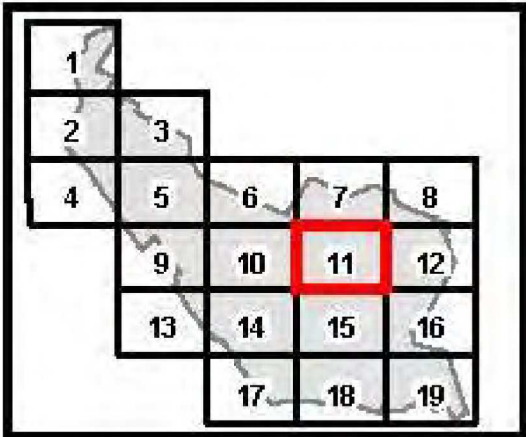
- Primary Front Setback (Min/Max) - 2 FT/15 FT (Facade at Civic Plaza - 80 FT, Facade at Grant St - 99 FT)

Parking & Mobility

Zone 11 Transit Map - Site Indicated



CITY OF SOMERVILLE, MA
TRANSIT AREA MAP



WALKSHED

- Quarter Mile
- Half Mile

On-Street Parking Occupancy Study Area



On-Street Parking Occupancy Study Area

Observations Were Conducted During The Following Four Time Periods:

- **Typical Weekday:** Wednesday, May 18, 2022, between 1:00 PM and 4:00 PM
- **Typical Weeknight 1:** Tuesday, May 25, 2022, between 10:00 PM and 1:00 AM
- **Typical Weeknight 2:** Wednesday, May 17, 2022, between 10:00 PM and 1:00 AM
- **Typical Saturday:** Saturday, May 21, 2022, between 10:00 AM and 1:00 PM

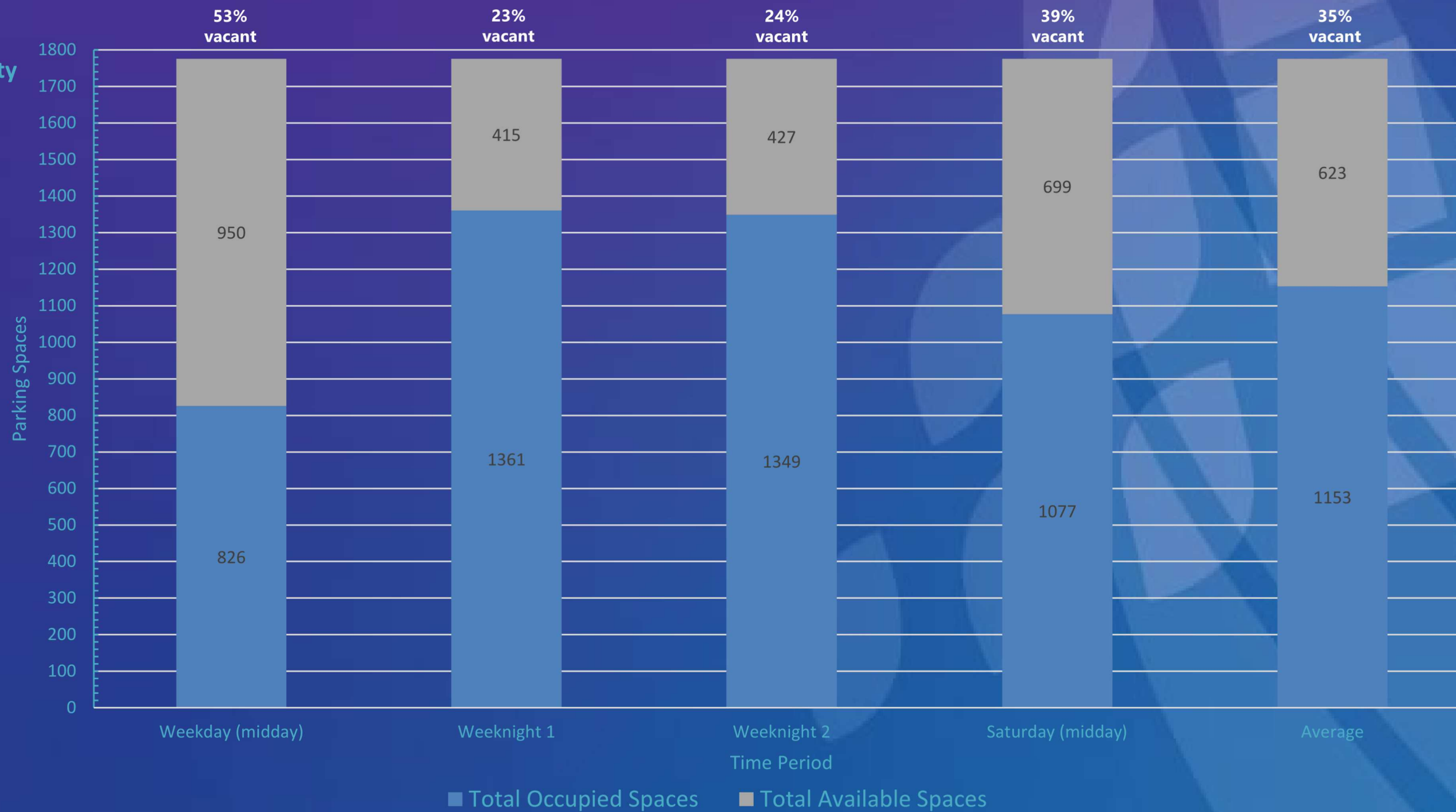
All Counts were conducted on non-holiday weeks while local schools were in session. No major community events that could have impacted typical parking demand occurred during observations. Observations were also not conducted on evenings when street cleaning was plan for the following day.



Parking Occupancy

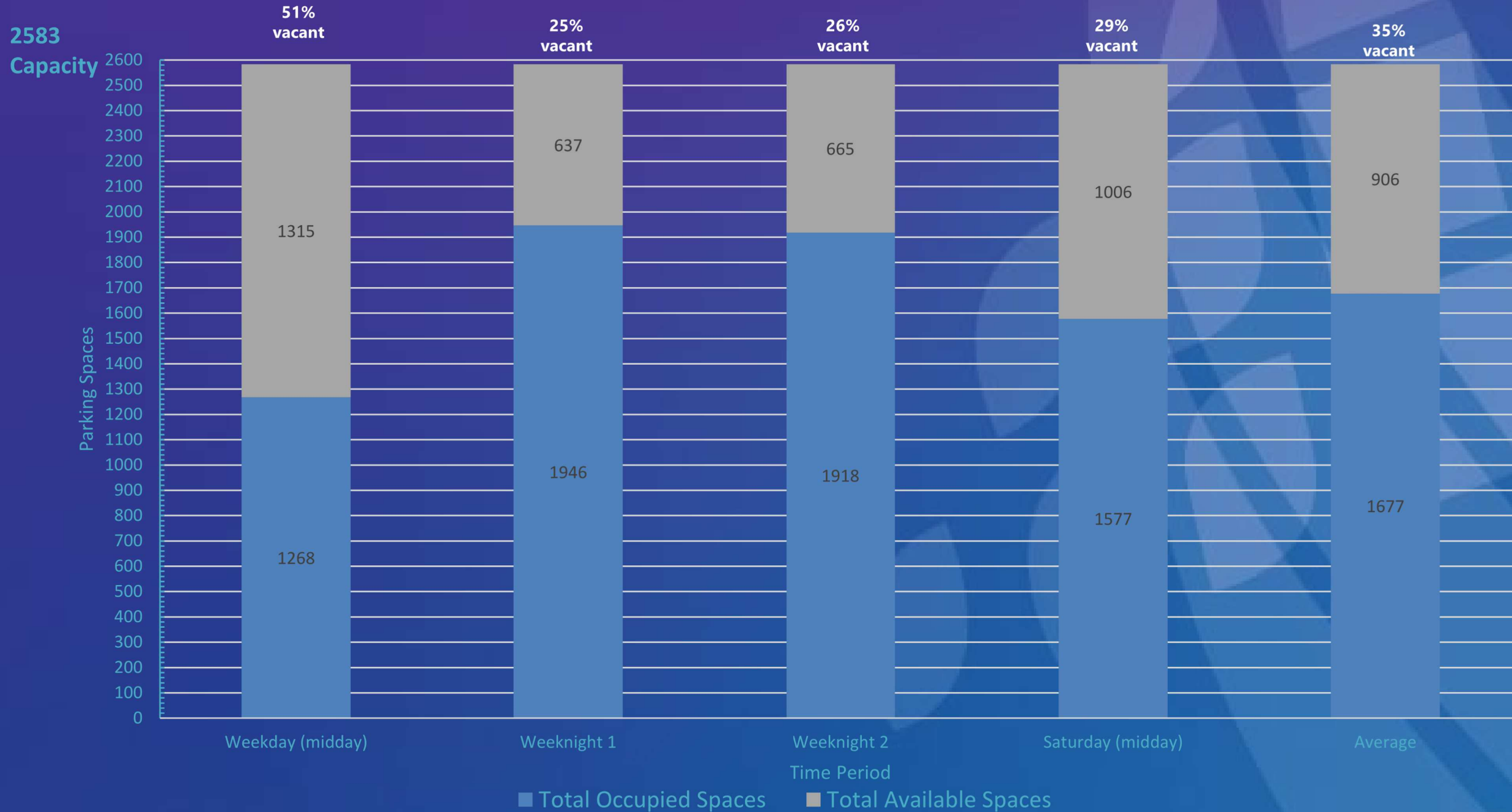
5-Minute Walking Radius

1776
Capacity



Parking Occupancy

10-Minute Walking Radius



Mobility Plan

- The project is requesting that 50% of the market rate units (156 total) or 78 units, will be eligible to apply for a resident on street parking permit.
- This will be in place until 2040, at which time we will work with the Director of Mobility to assess the actual demand (no more than 50%) of the building and re-establish the cap going forward.
- Residents of the affordable units (132 affordable units) will be eligible to apply for a hardship waiver, like other projects in Somerville, allowing for a resident permit.

Mobility Management Plan (“MMP”)

- To reduce the Project’s overall traffic impact, we are proposing a robust set of measures aimed at reducing the demand side of car usage.

Commitments made to this project are as follows:

- 1) Residents of the market-rate units that seek a resident permit pass will be required to pay a monthly fee. Payments received from those parking passes will be used to fund additional TDM measures (to be agreed upon with the Director of Mobility).
- 2) The Project will fund and install (if onsite) a City Owned bike share station.
- 3) New residents will receive a MBTA Charlie Card with \$90 stored value (capped at 2-adults).
- 4) New residents will receive a one-month Bluebike @ \$27.00/month membership (capped at 2-adults).

MMP Continued

Additional Commitments:

- 5) For commercial spaces greater than 2,000 SF, employers will offer a 90% subsidy to full-time employees for Zone 1A Transit passes and Bluebike memberships.
- 6) At least one (1) car share vehicle provided on site (lot 3).
- 7) TDM Coordinator and TMA Membership.

Affordability

Current Proposal vs. Original Proposal

	Original Proposal	Current Proposal	Variance
Total Units	310 Units	287 Units	(23 Units)
# of Affordable Units	62 Units	132 Units	+70 Units
% of Affordable Units	20%	46%	+26%
Total Rentable SF (RSF)	236,314 RSF	242,830 RSF	+6,516 RSF
Total Affordable RSF	47,263 RSF	127,827 RSF	+80,564 RSF
% of Affordable RSF	20%	53%	+33%

Affordable Unit Mix

	Market Rate Units	Affordable Units	Total Units	% of Total Units
Studio	22	2	24	8%
1-Bedroom	92	47	139	48%
2-Bedroom	38	58	96	33%
3-Bedroom	4	25	29	11%
Total Units	156	132	288	100%

Of the total units in the project, +/- 44% are 2-bedroom and 3-bedroom units with over 65% of those units being affordable.

Affordable Units by Income Tiers Served

	30% AMI	60% AMI	80% AMI
Studio	0	0	2
1-Bedroom	4	33	10
2-Bedroom	8	46	4
3-Bedroom	4	20	1
Total Units by Tier	16	99	17
% of Affordable Units by Tier	12%	75%	13%

Amenity Offering

Shared ground floor Amenities:

- *On-site management offices*
- *Resident lounge & co-working space*
- *Fitness Center*
- *Business/Computer Center*
- *Package concierge service*
- *Bicycle Storage*

Example of Affordable Finishes

- Modern aesthetics
- Comparable layouts and design
- Visually similar with a focus on durable and economical selections



Thank you!

Curb Management

Curb Management



Bike Parking



Pedestrian Paths and Building Access Points

- ▲ Principal Entrance (Lobby)
- ▲ Principal Entrance (Other)
- ▽ Secondary Entrance
- ↔ Pedestrian Path



Appendix 1 - Development Summary

Development Summary

MR4/MR6/NR Zoning District
General Building Type;
-Ground floor commercial space and residential amenity space
-Upper story residential

331,100 GSF Development
242,500 NSF Residential
48% Affordable
52% Market Rate

Net-Zero Ready
Passive House Institute US

6 Stories / 73 FT 1 IN

288 Residential Units

13,200 sf Retail / Leasable space

0 car parking spaces
330 +/- bike parking spaces

Development Narrative

The adjoining properties at issue currently make up the old Broadway Star Market site and the current Broadway Walgreens site. The proposed project at 299 Broadway will transform a long-neglected stretch of Broadway in the Winter Hill neighborhood into a vibrant block providing residential housing units, retail space, a community room, and significant improvements to the public realm. The project is anchored by two mixed-use buildings that repair a gap in the existing Broadway streetscape and define a new civic plaza along Broadway that artfully combines built-in seating, retail café zones, and trees and plantings that define circulation and gathering spaces, provide shade, contribute to storm water management, and promote habitat.

Along Sewall Street, the project will transform a decrepit parking lot into a welcoming neighborhood pocket park that provides opportunities for multi-generational programming. The park will include informal seating areas, sustainable trees and plantings, and intuitive play areas. Like the civic plaza along Broadway, the park along Sewall Street will contribute to the site-wide stormwater management system and will be designed to promote native habitat, including birds and pollinators.

The civic plaza on Broadway and the neighborhood pocket park on Sewall will be connected by a landscaped pedestrian mews that will be publicly accessible 24/7. Together, the plaza, mews, and park have been configured to provide a fully-accessible, stair-free path between Broadway and Sewall Street, which is currently used as an informal pedestrian cut-through containing stairs. This mid-block connection improves the functionality and quality of experience of an existing pedestrian desire line between the bus stop and pedestrian destinations on Sewall and Temple Streets. In addition to being anchored by a complementary plaza and park, the new connection will be activated by spill out from retail spaces, building lobbies that provide access to upper floor residential units, front doors to the residential units that face the mews, and the entrance to a community space that faces the Sewall Street park.

The two buildings that define the public realm have been designed to look like a collection of eight buildings of different sizes and architectural expressions. The existing apartment buildings on Broadway inspired their scale and character, while the overall sculptural composition of the project is meant to complement the diverse buildings that border the site. The buildings transition from six stories along Broadway and Temple Street to four stories adjacent to the abutting residential neighborhood. The four story building components have been thoughtfully arranged in order to create a variegated condition along this edge.

Underpinning the team's commitment to low-carbon, healthy buildings, the project will target Passive House certification and will meet the city's requirements for a 'net-zero ready' development.

Appendix 2 - Zoning Summary

Building A

PARCEL ZONING SUMMARY

ZONING DISTRICT	MR4/MR6/NR
TRANSIT AREA	Inside Half Mile Walkshed
PEDESTRIAN STREET	Yes (Broadway + part of Temple Street)
PRINCIPAL BLDG TYPE	General
LOT SIZE	48,243 SF

DEVELOPMENT SUMMARY

PROJECT AREA

LOT AREA (SF)	48,243 SF
GROSS FLOOR AREA (SF)	154,935

USE & OCCUPANCY

RESIDENTIAL	Residential Group R2
COMMERCIAL	Mercantile Group M & Assembly Group A

DWELLING UNIT MIX

1 BED	36
2 BED	53
3 BED	26
TOTAL	115 DUs

RETAIL / COMMERCIAL

LEASABLE (SF)	5,029
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PARKING

AUTOMOBILE	0 Spaces
BICYCLE	1 Space/DU + Retail Long-Term / Short Term Spaces

Appendix 2 - Zoning Summary

Building B

PARCEL ZONING SUMMARY

ZONING DISTRICT	MR4/MR6
TRANSIT AREA	Inside Half Mile Walkshed
PEDESTRIAN STREET	Yes (Broadway)
PRINCIPAL BLDG TYPE	General
LOT SIZE	53,907 SF

DEVELOPMENT SUMMARY

PROJECT AREA

LOT AREA (SF)	53,907 SF
GROSS FLOOR AREA (SF)	176,174

USE & OCCUPANCY

RESIDENTIAL	Residential Group R2
COMMERCIAL	Mercantile Group M & Assembly Group A

DWELLING UNIT MIX

STUDIO	24
1 BED	102
2 BED	42
3 BED	5
TOTAL	173 DUs

RETAIL / COMMERCIAL

LEASABLE (SF)	8,215
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PARKING

AUTOMOBILE	0 Spaces
BICYCLE	1 Space/DU + Retail Long-Term / Short Term Spaces

Appendix 2 - Zoning Summary

Building A

	ALLOWED	PROPOSED	AS-OF-RIGHT
MAIN MASSING	4 max / 6 max	4 stories / 6 stories	
BUILDING WIDTH (MAX)	200 ft max	124 FT 10 IN	YES
FLOOR PLATE (MAX)	15,000 SF MR4 / 30,000 SF MR6	28,591 SF	NO
MR4 GROUND STORY HEIGHT (MIN / MAX)	14 FT / 25 FT	27 FT 3 IN	NO
MR6 GROUND STORY HEIGHT (MIN / MAX)	18 FT / 25 FT	27 FT 3 IN	NO
UPPER STORY HEIGHT (MIN)	10 FT	10 FT 8 IN	YES
NUMBER OF STORIES (MAX)	4 max / 6 max	4 stories / 6 stories	YES
BUILDING HEIGHT (MAX)	52 FT MR4 / 80 FT MR6	56 FT MR4 / 73 FT 1 IN MR6	NO/YES
ROOF TYPE	Flat	Flat	YES
FACADE COMPOSITION			
GROUND STORY FENESTRATION	70%	70% (TBD)	YES
UPPER STORY FENESTRATION (MIN/MAX)	15% / 50 %	22.1%	YES
BLANK WALL (MAX)	20 FT	NA	YES
USE & OCCUPANCY			
GROUND STORY ENTRANCE SPACING (MAX)	30 FT	Varies	NO
COMMERCIAL SPACE DEPTH (MIN)	30 FT	Varies	YES

Appendix 2 - Zoning Summary

Building A

	ALLOWED	PROPOSED	AS-OF-RIGHT
LOT DIMENSIONS			
LOT WIDTH (MIN)	30 FT	112 FT	YES
BUILDING SETBACKS			
FRONT SETBACK			
PRIMARY FRONT SETBACK (MIN/ MAX)	2 FT / 15 FT	2 FT	YES
SIDE SETBACK (MIN)			
ABUTTING ALLEY OR R-ROW	0 FT	NA	YES
ABUTTING ANY NON-NR OR LHD	0 FT	10 FT	YES
1ST-3RD STORY ABUTTING NR OR LHD	10 FT	10 FT	YES
4TH-10TH STORY ABUTTING NR OR LHD	30 FT	30 FT	YES
REAR SETBACK (MIN)			
ABUTTING ALLEY OR R-ROW	0 FT	NA	YES
ABUTTING ANY NON-NR OR LHD	10 FT	10 FT	YES
1ST-3RD STORY ABUTTING NR OR LHD	20 FT	20 FT	YES
4TH-10TH STORY ABUTTING NR OR LHD	30 FT	30 FT	YES

Appendix 2 - Zoning Summary

Building B

	ALLOWED	PROPOSED	AS-OF-RIGHT
MAIN MASSING	4 max / 6 max	4 stories / 6 stories	
BUILDING WIDTH (MAX)	200 ft max	177 FT 6 IN	YES
FLOOR PLATE (MAX)	15,000 SF MR4 / 30,000 SF MR6	34,184 SF	NO
MR4 GROUND STORY HEIGHT (MIN / MAX)	14 FT / 25 FT	18 FT	
MR6 GROUND STORY HEIGHT (MIN / MAX)	18 FT / 25 FT	23 FT 8 IN	NO
UPPER STORY HEIGHT (MIN)	10 FT	10 FT 8 IN	YES
NUMBER OF STORIES (MAX)	4 max / 6 max	4 stories / 6 stories	YES
BUILDING HEIGHT (MAX)	52 FT MR4 / 80 FT MR6	50FT MR4 / 68 FT 10 IN MR6	YES
ROOF TYPE	Flat	Flat	YES
FACADE COMPOSITION			
GROUND STORY FENESTRATION	70%	70% (TBD)	YES
UPPER STORY FENESTRATION (MIN/MAX)	15% / 50 %	26.2%	YES
BLANK WALL (MAX)	20 FT	NA	YES
USE & OCCUPANCY			
GROUND STORY ENTRANCE SPACING (MAX)	30 FT	Varies	NO
COMMERCIAL SPACE DEPTH (MIN)	30 FT	Varies	YES

Appendix 2 - Zoning Summary

Building B

	ALLOWED	PROPOSED	AS-OF-RIGHT
LOT DIMENSIONS			
LOT WIDTH (MIN)	30 FT	202 FT	YES
BUILDING SETBACKS			
FRONT SETBACK			
PRIMARY FRONT SETBACK (MIN/ MAX)	2 FT / 15 FT	2 FT	YES
SIDE SETBACK (MIN)			
ABUTTING ALLEY OR R-ROW	0 FT	NA	YES
ABUTTING ANY NON-NR OR LHD	0 FT	10 FT	YES
1ST-3RD STORY ABUTTING NR OR LHD	10 FT	10 FT	YES
4TH-10TH STORY ABUTTING NR OR LHD	30 FT	30 FT	YES
REAR SETBACK (MIN)			
ABUTTING ALLEY OR R-ROW	0 FT	NA	YES
ABUTTING ANY NON-NR OR LHD	10 FT	10 FT	YES
1ST-3RD STORY ABUTTING NR OR LHD	20 FT	20 FT	YES
4TH-10TH STORY ABUTTING NR OR LHD	30 FT	30 FT	YES

Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 4

Topic: Lot Dimensions

Sub-Topic: Lot Width

Ordinance Section: 4.4.8.a; 4.4

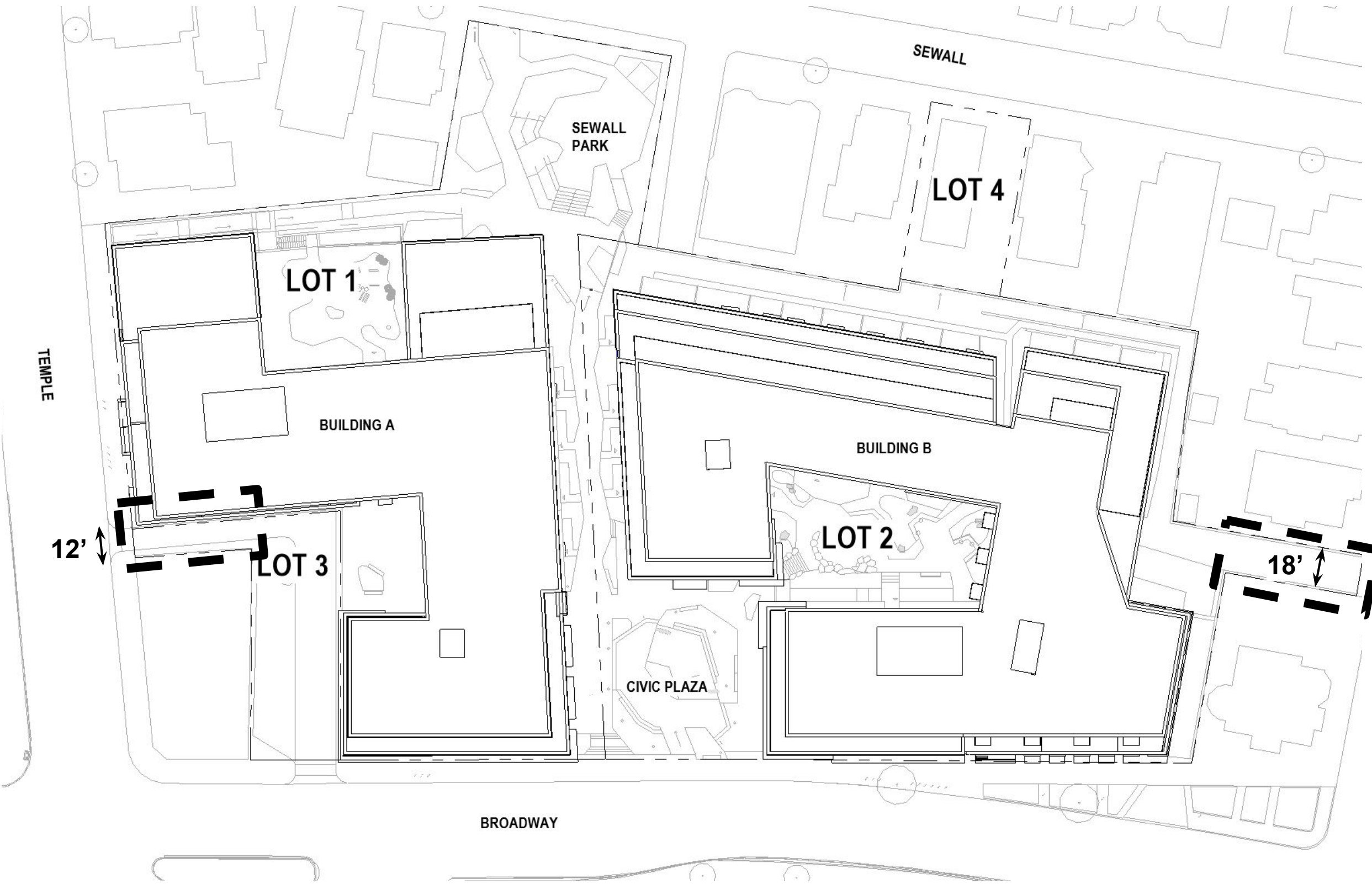
Requirements:

"In the MR6 district, a minimum Lot Width of 30 feet is required for all building types."

Relevant Lots: 2;3

Requested Waiver: Waiver from Lot Width requirement for Lot 2 and Lot 3.

Details: The Grant Street side of Lot 2 has a width of approximately 18 feet. The Temple Street side of Lot 3 has a width of approximately 12 feet.



Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 5

Topic: General Building

Sub-Topic: Building Placement - Building Setbacks in MR6 and MR4 Districts

Ordinance Section: 4.4.8.b; 4.2.8.b

Requirements:

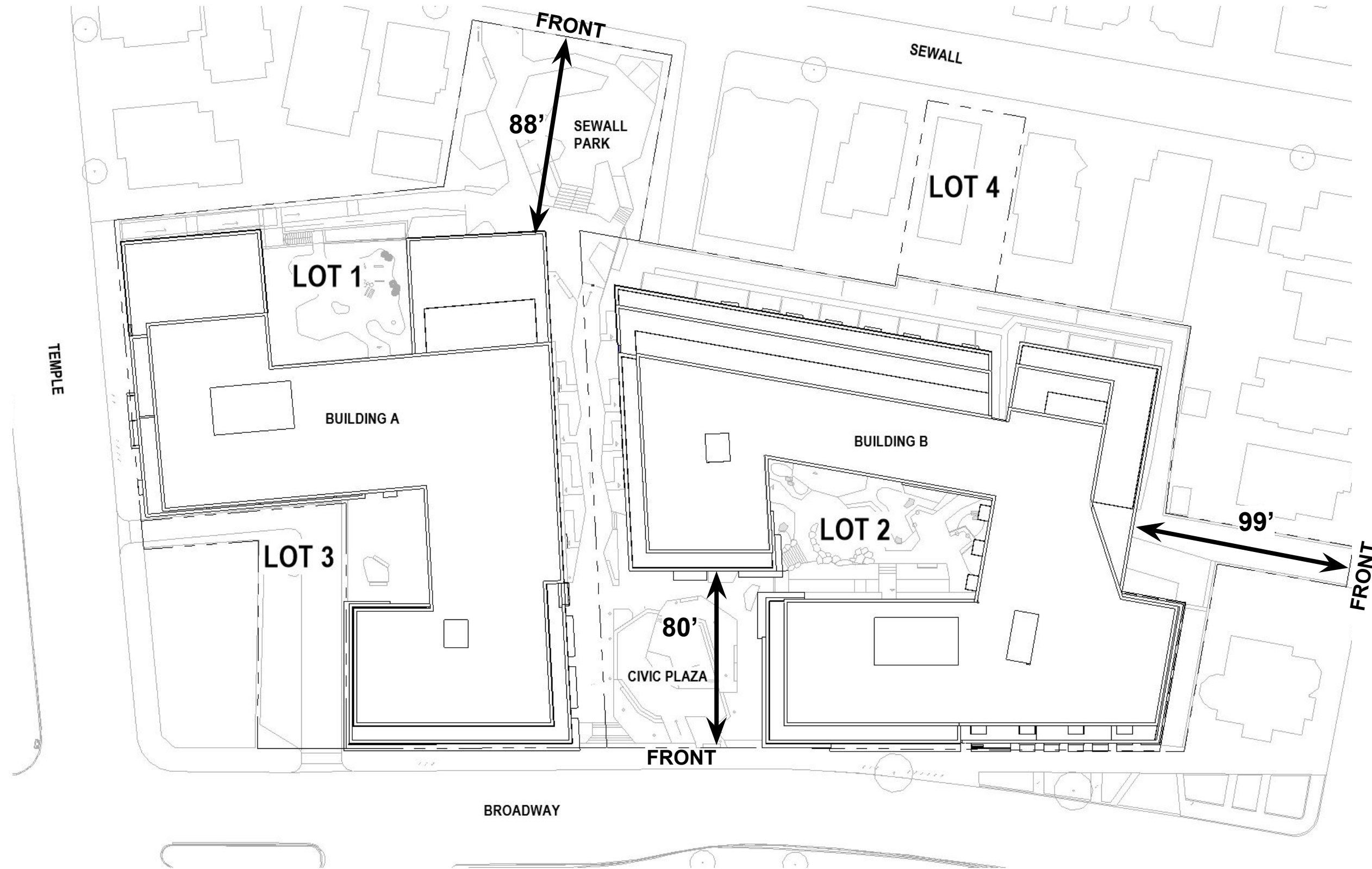
"(A) In the MR6 District, the primary front setback is a minimum of 2 feet and a maximum of 15 feet.; (B) In the MR6 District, the secondary front setback is a minimum of 2 feet and a maximum of 15 feet.; (C) In the MR4 District, the primary front setback is a minimum of 2 feet and a maximum of 15 feet.; (D) In the MR4 District, the secondary front setback is a minimum of 2 feet and a maximum of 15 feet."

Relevant Lots: 1;2

Requested Waiver: Waiver from Building Setback requirements.

Details: Building A (Lot 1) - Portion of building facing Sewall Street is more than 15 feet from the Sewall Street primary front lot line and the portion of the building located north of the Civic Plaza is more than 15 feet from the Broadway primary front lot line. Portion of building facing the Civic Plaza is more than 15 feet back from the lot line, which is a secondary front lot line.

Building B (Lot 2) - Portion of building facing Grant Street is more than 15 feet back from the Grant Street primary front lot line. A small portion of the north lot line of Lot 2 faces Sewall Park, a civic space, and therefore qualifies as a front lot line. The façade is setback 20 feet to comply with the MR4 rear setback requirements that apply elsewhere on this façade.



Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 7

Topic: General Building

Sub-Topic: Massing and Height-Façade Build Out

Ordinance Section: 4.2.8.c; 2.4.4.a.i.a;

Requirements:

"(A) Building Facades must be built parallel to the front lot line for the minimum façade build out specified for each building type and is measured as a percentage of the lot width, measured at the maximum front setback line.

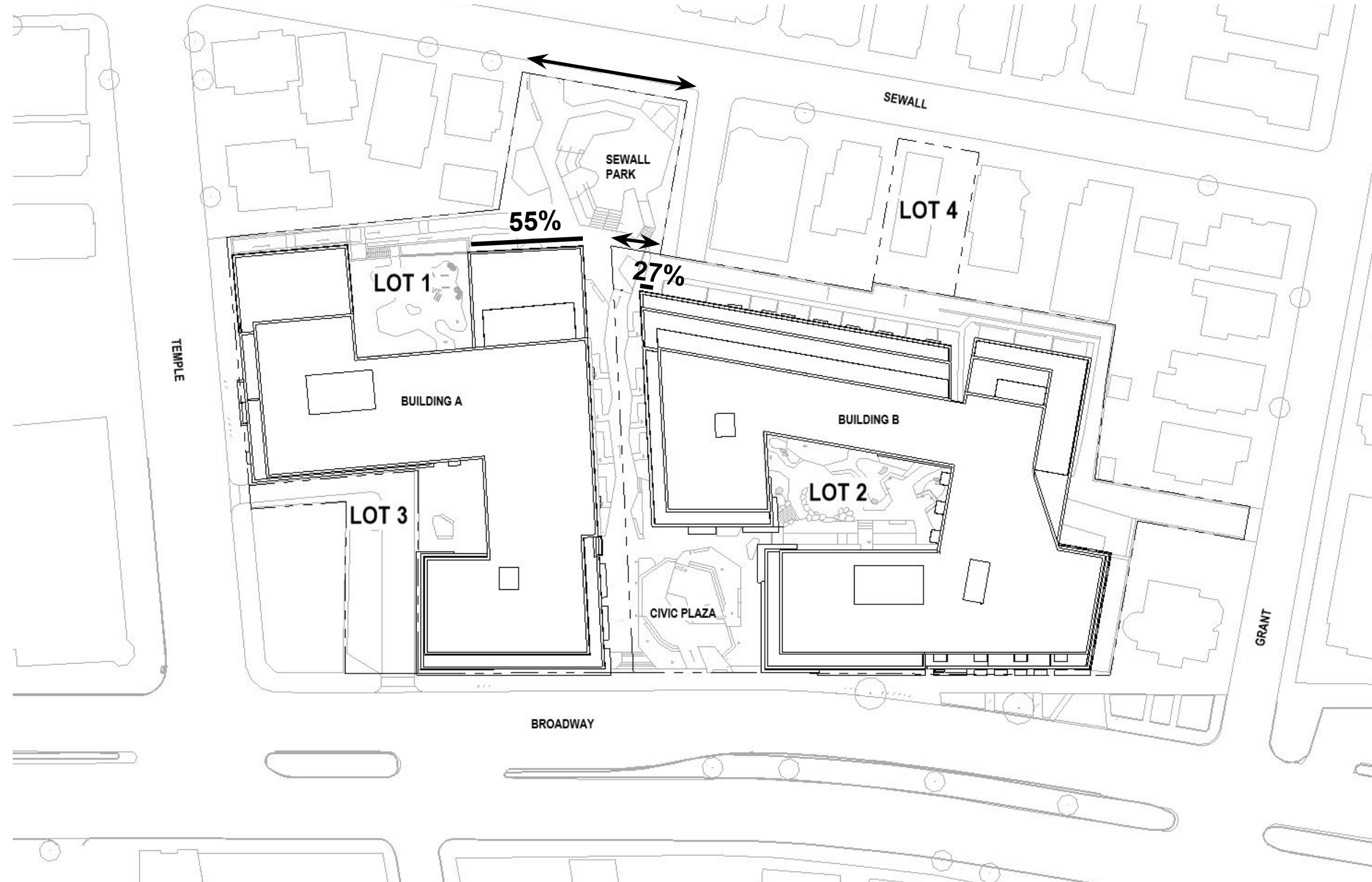
(B) In the MR4 District, the Minimum Façade Build Out is 80% on the primary front and 65% on the secondary front."

Relevant Lots: 1;2

Requested Waiver: Waiver from minimum Façade Build Out and parallel requirements.

Details: Building A (Lot 1) - The upper stories of the building façade facing Sewall Street are not parallel to the Sewall Street front lot line. The part of the building facing Sewall Park has a Façade Build Out of 55%, less than the 80% required for Primary Front.

Building B (Lot 2) - A small portion of the north lot line of Lot 2 faces Sewall Park, a Civic Space, and therefore qualifies as a secondary front lot line. The Façade Build Out on this façade is 27%.



Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 8
Topic: General Building
Sub-Topic: Floor Plate - MR 6 and MR 4 Districts
Ordinance Section: 4.4.8.c; 4.2.8.c

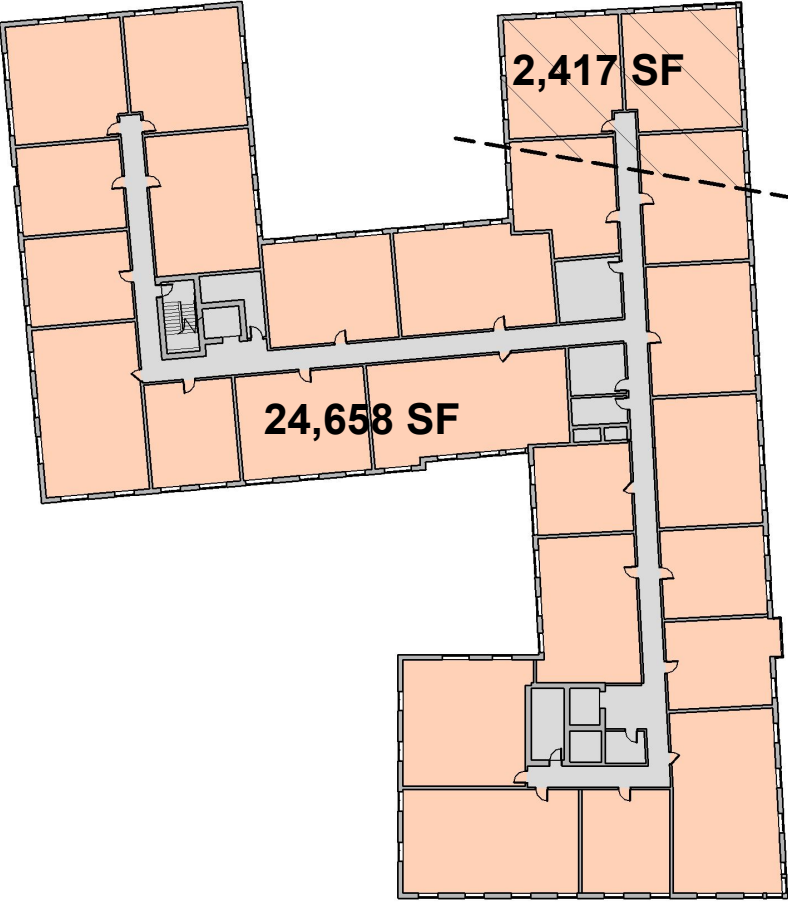
Requirements:
 "The maximum floor plate of a General Building in the MR6 district is 30,000 sf and the in the MR4 district is 15,000 sf."

Relevant Lots: 1;2

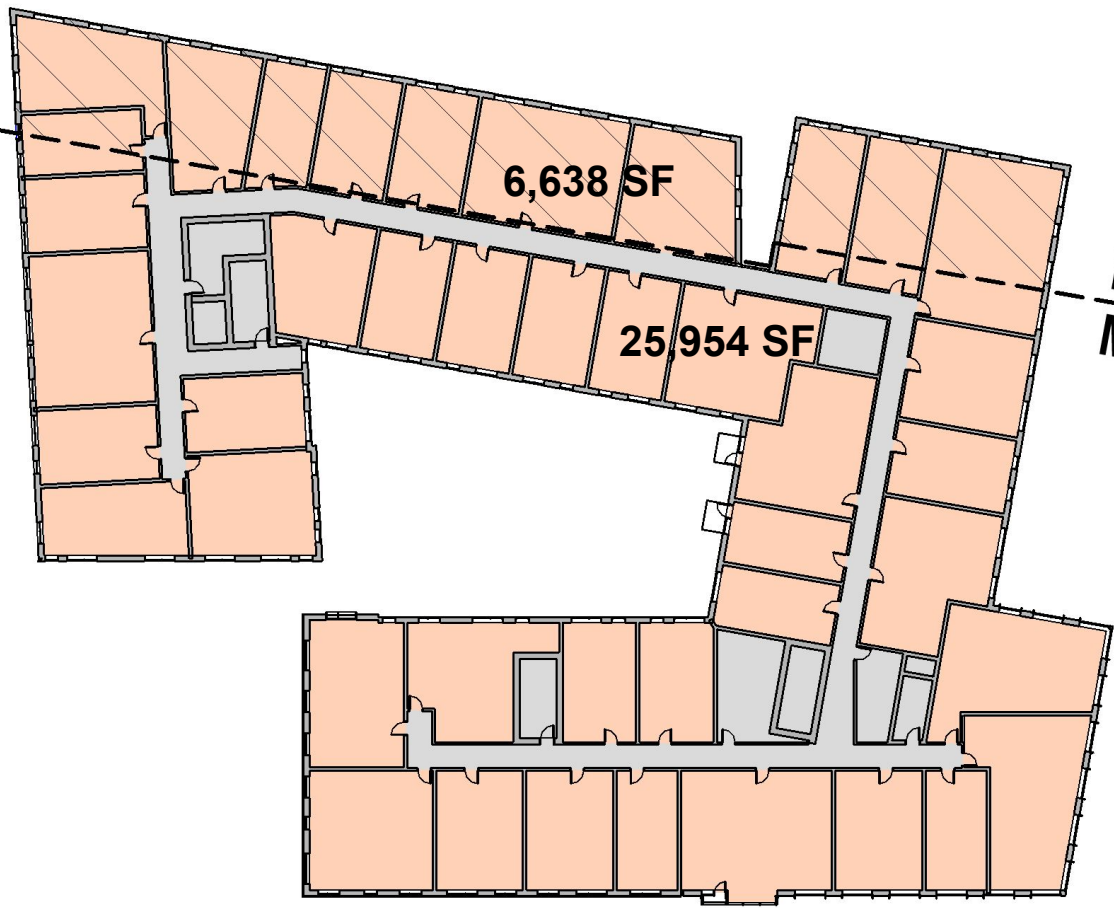
Requested Waiver: Waiver from the maximum floor plate requirement.

Details: Building A (Lot 1) - Building A has a total floorplate of 28,462 sf with 2,601 sf located within the MR4 District and 25,861 sf located within the MR6 District.

Building B (Lot 2) - Building B has a total floorplate of 34,213 sf 6,845 sf located within the MR4 District and 27,368 sf located within the MR6 District.



Total: 27,075 SF



Total: 32,592 SF

Level 3

Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 12
Topic: General Building
Sub-Topic: Uses & Features - Ground Story
Occupancy
Ordinance Section: 4.4.8.d

Requirements:
"Ground Story Entrance Spacing shall not exceed 30 feet."

Relevant Lots: 1; 2

Requested Waiver: Waiver from Ground Story Entrance Spacing requirements..

Details: Portions of Building A on Lot 1 and Building B on Lot 2 along Broadway will have entrances spaced greater than 30 feet apart.



Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

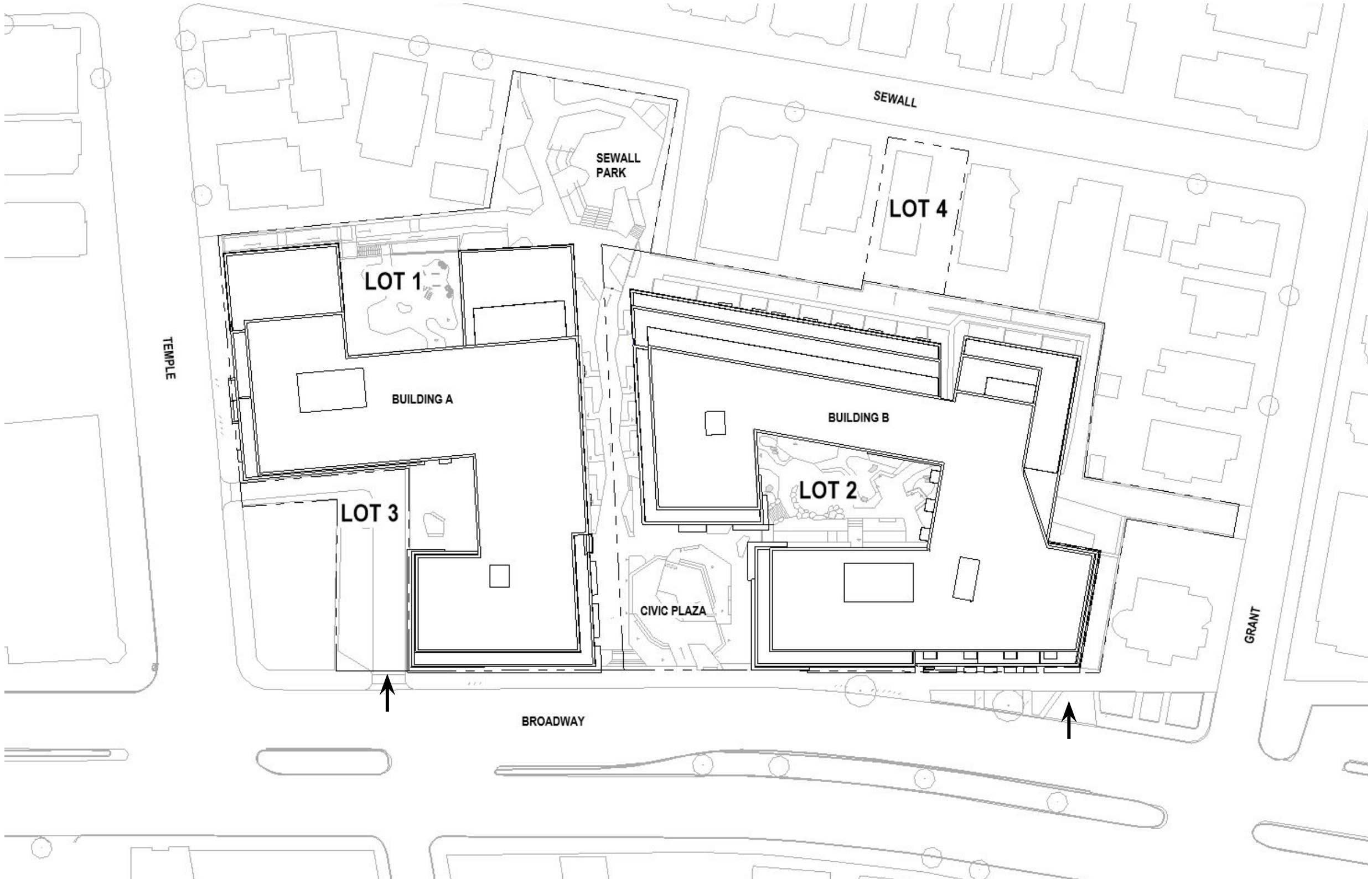
Reference No: 17
Topic: Public Realm
Sub-Topic: Curb Cuts
Ordinance Section: 4.4.17.b; 11.2.2

Requirements:
"A Curb Cut requires a permit from the City Engineer. Curb Cuts are prohibited along all Thoroughfares designated as a Pedestrian Street. Vehicular entrances to Parking Lots are prohibited along any Thoroughfare designated as a Pedestrian Street."

Relevant Lots: 1; 2; 3

Requested Waiver: Waiver from the need to obtain a Curb Cut Permit from the City Engineer and waiver from prohibition on curb cuts on Pedestrian Streets.

Details: Curb cuts are provided on Broadway to access a loading area for Building 2 and curb cuts are provided on Broadway and Temple Street to the parking lot on Lot 3 serving the adjacent property uses and to provide access and loading for Lot 2.



Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 21
Topic: Development Standards
Sub-Topic: Land Platting - Lots; Lot Shape
Ordinance Section: 10.1.4.c

Requirements:
"Lots must be platted to be generally rectilinear."

Relevant Lots: 1;2;3
Requested Waiver: Waiver from Lot shape requirement.

Details: Lots 1, 2 and 3 are not rectilinear due to the land that is part of the development.



Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 26

Topic: Sustainable Development

Sub-Topic: Green Buildings

Ordinance Section: 10.10.1

Requirements:

"New construction of any principal building type greater than 50,000 square feet in Gross Floor Area must be LEED Platinum certifiable."

Relevant Lots: 1;2

Requested Waiver: Waiver from LEED Platinum requirement.

Details: Building A on Lot 1 and Building B on Lot 2 will meet Passive House certifiability, which will achieve many of the same goals as LEED Platinum.

The project will target Passive House through the PHIUS 2021 Core standard

Co-benefits of Passive House include:

- Enhanced thermal comfort
- Exceptional indoor air quality
- Quality assurance: performance as designed
- Lower operational costs
- Reduced carbon emissions (net zero ready)
- Better sound isolation
- Resilience during loss of power

Airtight Envelope

Continuous air barrier at all transitions

Fresh Air with Energy Recovery

Balanced mechanical ventilation with energy recovery

High-Performance Windows

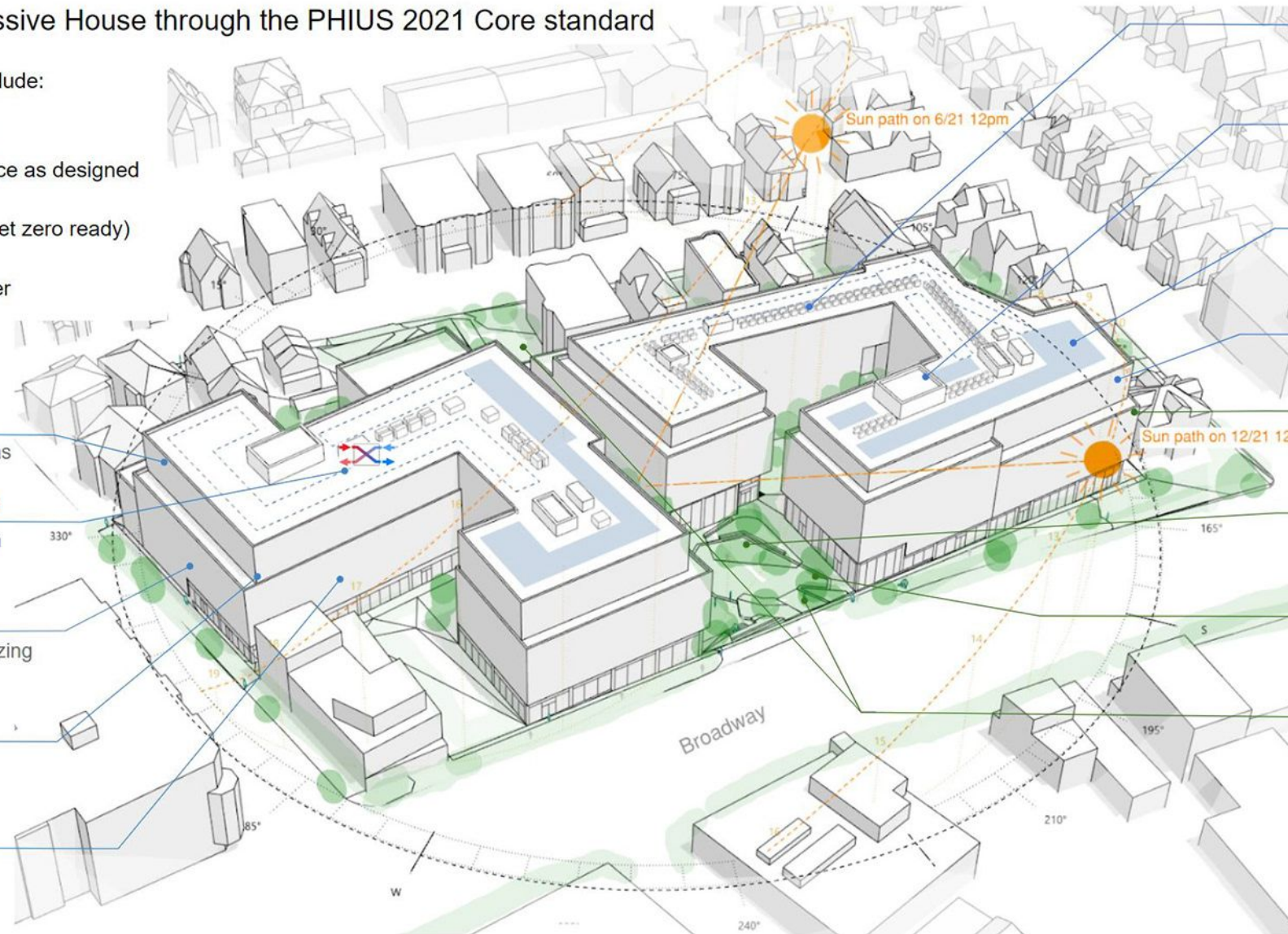
Low window-wall ratio with low-e glazing tuned for daylight and solar control

Minimized Thermal Bridging

Continuous, high quality insulation with thermally broken assemblies

Sustainable Materials

Design utilizes low-emitting, low-embodied carbon materials



Right-sized Heating + Cooling

All-electric, cold-climate heat pumps for space conditioning

Efficient DHW

Future-ready electric water heating with efficient distribution

Rooftop Solar PV

Equipment is consolidated to maximize area for rooftop solar PV

Building Moisture Control

Durable, water-managed assemblies

Bicycle Parking

Promotes health and transportation efficiency

Stormwater Mitigation

Permeable and planted surfaces manage stormwater runoff

Shaded Outdoor Space

Tree canopy reduces heat island and provides resilience to extreme heat

Native Plantings

Pollinator-friendly native plants support ecosystem services

Legend

- Site and Landscape
- Building Envelope + Systems

Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 11

Topic: General Building

Sub-Topic: Uses & Features - Use & Occupancy

Ordinance Section: 4.2.8.d

Requirements:

"The maximum number of Dwelling Units permitted is calculated by dividing the total gross floor area of the building by the density factor. In the MR4 District, a lot with a Lot Area greater than 5,500 sf has a density factor of 1,125."

Relevant Lots: 2

Requested Waiver: Waiver from density factor for portion of Lot 2 within the MR4 District.

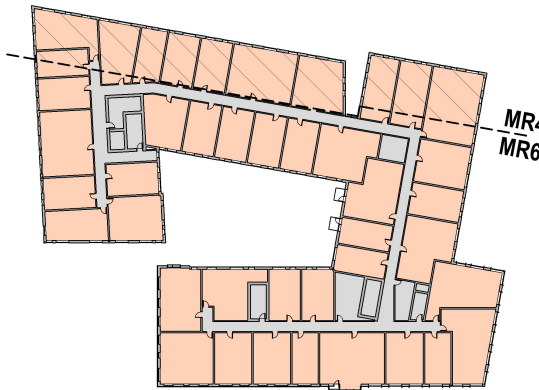
Details: Building B on Lot 2 is located partially within the MR6 District (151,801 gross square area) and partially within the MR4 District (24,628 gross floor area). Using a density factor of 1,125 allows for 22 units within the MR4 District. Building B contains more than 22 units within the MR4 District. Using a density factor of 850 allows for 179 units within the MR6 District. Lot 2 contains 173 total units, which is less than the 201 total units (22 units in MR4 plus 179 units in MR6) that would otherwise be permitted.



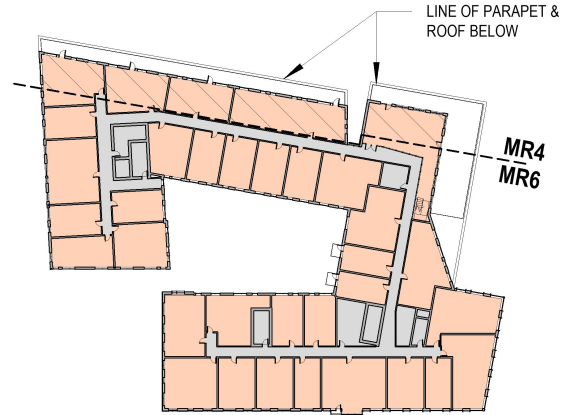
Level 1



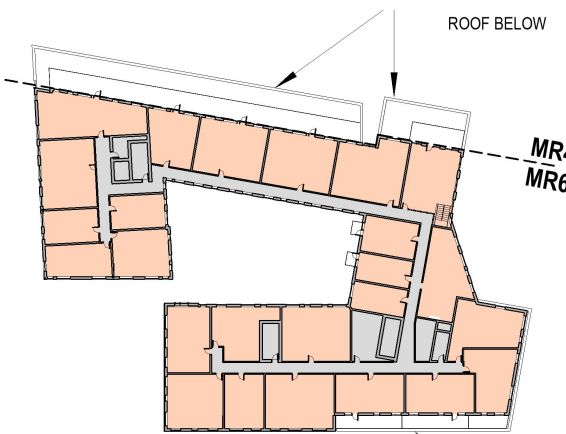
Level 2



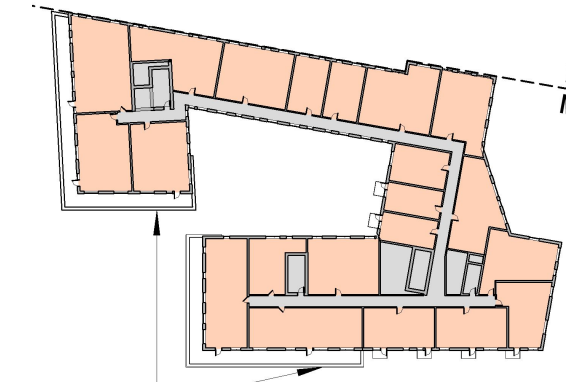
Level 3



Level 4



Level 5



Level 6

Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 13

Topic: Affordable Dwelling Units

Sub-Topic: General Building - MR 6 and MR 4 Districts

Ordinance Section: 4.4.8.e; Table 4.4.8.a; 4.2.8.e; Table 4.2.8.a; Section 12.1

Requirements:

"Buildings with 4 or more units require that 20% of the units be Affordable Dwelling Units. Affordable Housing is to be provided in the tiers and subject to the requirements set forth in Section 12.1."

Relevant Lots: 1; 2

Requested Waiver: Waiver from compliance with affordability provisions and tiers set forth in the Zoning Ordinance.

Details: 100% of the units within Building A on Lot 1 will be affordable units with 16 units affordable to households with total household income, adjusted for household size, at up to 30% of area median income and 99 units available to households with total household income, adjusted for household size, at up to 60% area median income. 17 of the units within Building B on Lot 2 will be affordable to households with total household income, adjusted for household size, at up to 80% of area median income. Specific rental, tenancy and development standards for the affordable units shall be in accordance with the requirements of MGL c. 40B and DHCD.

Reference No: 14

Topic: On-Street Parking

Sub-Topic: Commercial Services/ Food & Beverage Service/ Retail Uses

Ordinance Section: 4.4.16; Table 4.4.16; 4.2.15; Table 4.2.15

Requirements:

"Specifies vehicular parking requirements for various commercial, retail, and food and beverage uses.."

Relevant Lots: 1;2

Requested Waiver: Waiver from this requirement for Lot 1 and Lot 2.

Details: No on-site parking is being provided as part of the Project.

Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 28

Topic: Parking & Mobility

Sub-Topic: Loading Facilities

Ordinance Section: 11.2.5.a

Requirements:

"Buildings providing space for uses that regularly receive or distribute large quantities of goods must provide loading facilities as required by the Director of Mobility. Loading facilities must be sufficient to adequately serve the intended use(s)."

Relevant Lots: 1; 2

Requested Waiver: Waiver from need to obtain approvals from Director of Mobility.

Details: Loading facilities for Building A on Lot 1 and Building B on Lot 2 will provide loading facilities as shown on the plans approved by the ZBA.

Reference No: 29

Topic: Parking & Mobility

Sub-Topic: Motor Vehicle Parking - On-Street Parking in Transit Areas

Ordinance Section: 11.2.7; Somerville Traffic Commission Traffic Regulations

Requirements:

"Upon adoption of an official policy, prohibits all Dwelling Units, except as set forth in the policy, to participate in the Somerville Residential Permit Parking Program. The Traffic Commission Regulations prohibit the issuance of residential parking permits for new developments on property in Transit Areas. The Director of Parking is authorized to waive the prohibition in certain circumstances, including for residents of deed restricted affordable dwelling units."

Relevant Lots: 2

Requested Waiver: Waiver to allow up to 50% of the market rate units within Building B on Lot 2 to participate in the Residential Permit Parking Program.

Details: No on-site parking is being provided as part of the Project. The waiver would allow the City to grant up to 78 residential parking permits to residents of the market rate units in Building B on Lot 2.

Reference No: 30

Topic: Public Realm

Sub-Topic: Civic Spaces

Ordinance Section: 13.1.1.a

Requirements:

"The Development of any Civic Space requires Site Plan Approval followed by a Civic Space Permit."

Relevant Lots: 1; 2

Requested Waiver: Waiver from Site Plan Approval and Civic Space Permit for the proposed Civic Spaces.

Details: The Project Site includes two Civic Spaces. The Site Plan Approval and Civic Space Permit will be granted through the Comprehensive Permit.

Appendix 3 - SZO Waiver Requests

Urban design/public realm related waivers we are pursuing

Reference No: 35

Topic: Stormwater Management

Sub-Topic: City of Somerville Engineering Site Permit Rules & Regulations

Ordinance Section: Design Standards, Large Project Review, Section 1, Part d

Requirements:

"A project is required to reduce stormwater runoff to the public right of way (piped and overland) such that the 10-year proposed peak flow is less than the existing 2-year peak flow."

Relevant Lots: 1; 2; 3; 4

Requested Waiver: Waiver from this runoff volume standard.

Details: The presence of unsuitable soil throughout the Project Site prevents the safe infiltration of stormwater. Due to this, proposed stormwater management system will not be able to reduce the total volume of runoff from the Project Site. The proposed stormwater management system will provide a net reduction of peak flow for the analyzed storm events as required by the City of Somerville. In addition, the net runoff volume from the Project Site is expected to be reduced with the decrease in impervious area made by the proposed site improvements. The project meets this design standard such that the peak rate of runoff from the post-development 10-yr 24-hour storm is reduced below 2-yr 24-hour storm rate, however, due to on-site soil constraints the project cannot meet this requirement volumetrically for the same conditions.

Reference No: 36

Topic: Public Works; Division of Highways, Electric Lines and Lights

Sub-Topic: Municipal Code, Chapter 11, Article II, Sec. 11-88

Ordinance Section: n/a

Requirements:

Approval of the location of curb cuts

Relevant Lots: 1; 2; 3; 4

Requested Waiver: Approval of the general location of curb cuts.

Details: Approval of the general location of curb cuts as part of the Comprehensive Permit. Final review of curb cut locations will be conducted at the building permit application stage.

Appendix 4 - Shadow Study (June 2)

9 AM



12 PM



3 PM



6 PM



Appendix 4 - Shadow Study (March/Sept 2)

9 AM



12 PM



3 PM



Appendix 4 - Shadow Study (Dec 21)

9 AM



12 PM



3 PM

